

Blaine County Preferred Scenario

Where and How Will We Grow?

Scenarios Background

In Fall 2005, the county and consultant team created four land use scenarios. Their purpose was to illustrate general concepts about future growth and development patterns for different places within the county and to generate public discussion. They reflected input that the county heard from the public and were based on existing conditions and constraints, such as vacant and developed lands, current zoning and environmental standards, location of sensitive areas such as wetlands or wildlife areas, and location of irrigated agriculture land.

Preferred Scenario: Town Focused Development/Remote Areas Conservation

While the preferred scenario is generally consistent with Scenario C presented during Fall 2005, it contains more detailed land uses than the scenario to reflect current zoning district patterns, and it reflects specific directions for focused locations of the county. The Preferred Scenario is generally consistent with the county's Comprehensive Plan. The scenario is intended to:

- ✓ Limit growth occurring in the unincorporated county to ensure efficient provision of county services;
- ✓ Conserve land and resources in rural and remote areas of the county;
- ✓ Conserve agricultural land and reduce development patterns that will interfere with agricultural operations; and
- ✓ Increase protection of environmentally sensitive areas, such as wetlands, streams, and hillslopes.

Growth in Different Parts of the County

Remote Areas and Rural Hills

The Preferred Scenario shows a rural conservation land use pattern (RR-40) in the rural/remote hillside areas that are located far from service centers and where mountain overlay district standards are already in place. It is recommended that current zoning be changed to further reduce development potential in areas not served by utilities, emergency services, and that have high resource values, possibly on a sliding-scale basis.

Agricultural Areas

The Preferred Scenario emphasizes continued conservation of irrigated agricultural lands and limited residential development in agricultural valleys. A particular focus is the "Wetlands/Agricultural Protection Area" illustrated on the plan, which is recommended to be the basis of a voluntary Transfer of Development Rights (TDR) program "sending" area, as described in the implementation strategies memo. The "receiving" area will be, in part, north of Pero Road. More analysis is necessary to finalize the receiving areas. Additionally, the county will explore the formation of a development rights bank to purchase development credits, which could be funded through county appropriations, a possible bond issue, and private contributions (including non-profit organizations).

Canyons

The Preferred Scenario shows that most of the lands in the canyons that are outside of the town ACI areas would be rezoned to the RR40 category. Canyon property that is currently zoned R5 would be subject to mandatory clustering requirements, to preserve open space and protect sensitive environmental resources and wildlife habitat.

Areas around Towns/Town Annexation Areas

With this Preferred Scenario, the county will continue to work to ensure that city-level development stays in the towns, and will actively work towards agreements about development in the ACIs.

New Town(s) Concept

The Preferred Scenario does not preclude the concept of a New Town(s)—where some of the development that would otherwise disperse around the county could go into a new "village" or several villages. However, the county has determined that it will not consider this approach during this phase of the planning process, until the Board and Planning Commission are able to examine this issue in greater detail. As part of the next stages of the project, the consultant team will prepare more detailed criteria by which to evaluate new town proposals.

Tools for Success

The following is a summary of the tools that are recommended to achieve this preferred scenario:

Protecting of our Natural Resources

- Wetlands/Agriculture Protection Area south of Baseline Road as a TDR Sending area
- Increased protection of the County's riparian areas, hillsides, and wildlife habitat

Efficient Infrastructure and Services

- Densities tied to distance from services
- TDR receiving areas located near existing services
- Limit PUDs in rural/remote areas

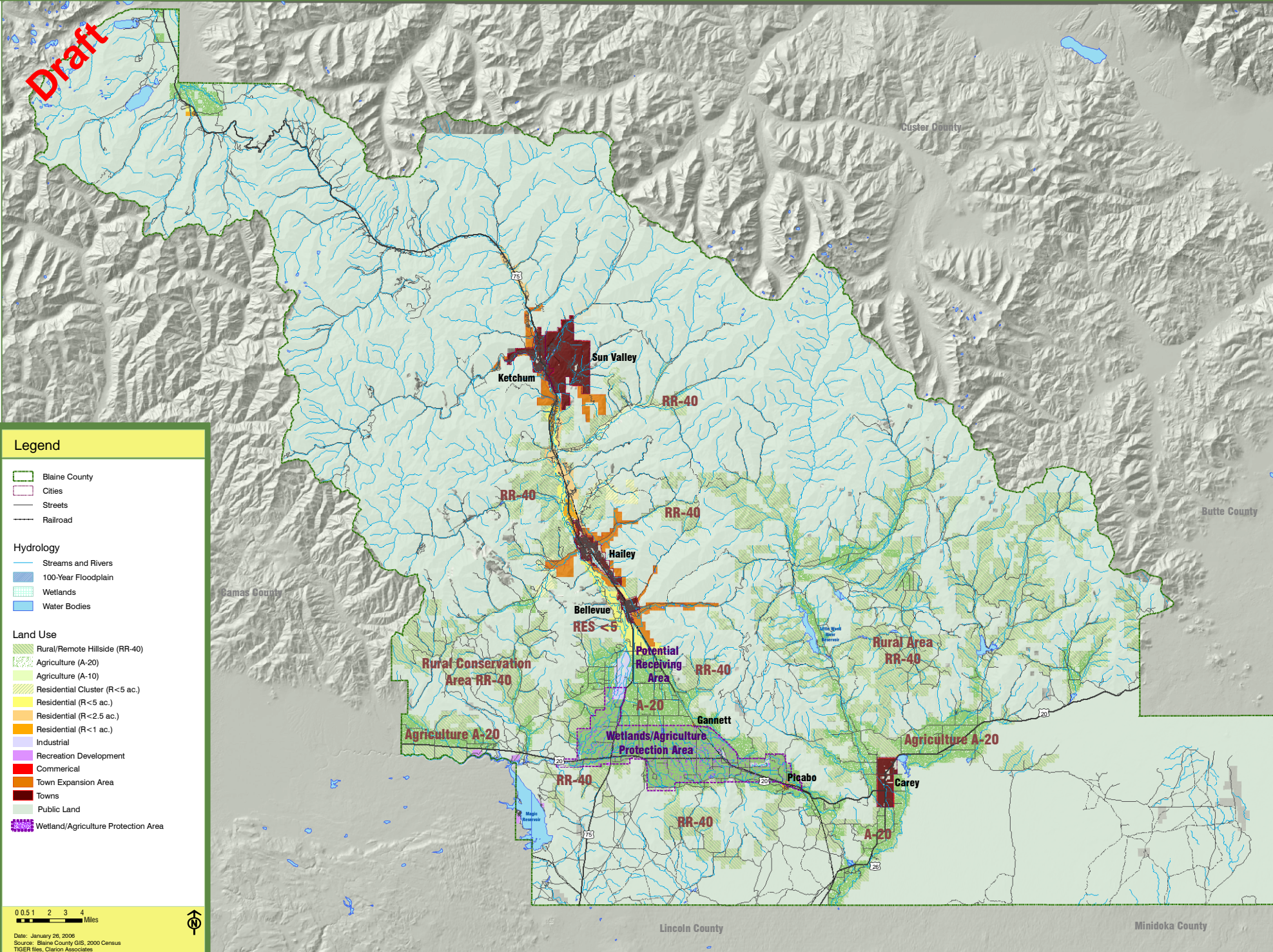
Achieving Regional Cooperation

- Forging new Area of City Impact (ACI) agreements to help each of our communities maintain their distinctive character
 - Developing a TDR program to benefit all residents of Blaine County
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Draft Preferred Scenario

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Legend

- Blaine County
- Cities
- Streets
- Railroad

Hydrology

- Streams and Rivers
- 100-Year Floodplain
- Wetlands
- Water Bodies

Land Use

- Rural/Remote Hillside (RR-40)
- Agriculture (A-20)
- Agriculture (A-10)
- Residential Cluster (R<5 ac.)
- Residential (R<5 ac.)
- Residential (R<2.5 ac.)
- Residential (R<1 ac.)
- Industrial
- Recreation Development
- Commercial
- Town Expansion Area
- Towns
- Public Land
- Wetland/Agriculture Protection Area

0 0.5 1 2 3 4 Miles

Date: January 26, 2006
Source: Blaine County GIS, 2000 Census
TIGER files, Clarion Associates

Lincoln County

Minidoka County

Custer County

Butte County

Camas County